# 335 E. Gutierrez Street

# New Warehouse Building

S-1 MODERATE HAZARD STORAGE



Tel: 805,564,5502

**Building & Safety** 

Tel: 805.564.5485

Santa Barbara, CA

Housing &

## City of Santa Barbara Community Development Department

☐ Other

### **BASE FLOOD ELEVATION (BFE) DETERMINATION**

□ Digital FIRM Map

Date:	September 19, 2018	<b>BLD</b> 2018-02222
Site:	335 E Gutierrez St.	<b>APN:</b> 031-282-009

**Applicant:** Pete Ehlen/East Beach Ventures **Email:** pete@eastbeachventures.com NFIP Community: City of Santa Barbara 060335 FIRM Map Index Date: Nov. 4, 2015 Panel Number & 'Suffix': 1387H

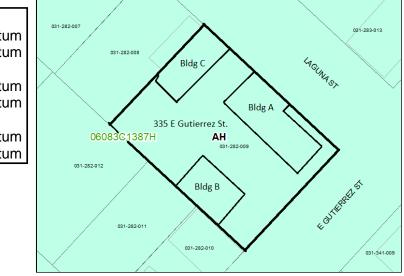
Revision Date: None Accessory FloodPlain SFHA 'AH' FIRM Zone(s) Regulatory FloodWAY SFHA 'AE'

Fax: 805.564.5476 **BFE:** 12.5' NAVD 1988 Datum \***DFE: 13.5**' NAVD 1988 Datum Redevelopment Tel: 805.564.5461 **BFE: 12.5**' NAVD 1988 Datum Fax: 805.564.5477 \***DFE**: **13.5**' NAVD 1988 Datum **BFE:** 12.6' NAVD 1988 Datum

Tel: 805.564.5470 \***DFE**: **13.6**' NAVD 1988 Datum Fax: 805.897.1904 SFHA Area 630 Garden Street 'AH' Zone PO Box 1990

BFE Source:

Non SFHA Area



**FIS Profile** 

\*DFE - As of January of 2017, ALL new or Substantially Improved/Damaged buildings are required to have the lowest floor one foot above BFE (1 foot Freeboard). Any new mechanical equipment, electrical gear, etc. must meet the DFE elevation as well. Please see 2016 CBC 1612.4, CRC R322.2.1 and ASCE 24. This elevation is the Design Flood Elevation or DFE.

**NOTE: Structure(s)** shown are approximate in location, shape & size. If the building location(s) change, please apply for an Amended BFE. This document supersedes all previous versions.

Building Permits are required before any new work, addition, or remodeling of structures in a Special Flood Hazard Area (SFHA) - City of Santa Barbara Municipal Code MC 22.24.

Flood Insurance is required for Federally Financed structures located in a SFHA 'A', 'AO', 'AH', 'AE' 'D' & 'VE' zones. Flood Insurance is not required in 'X' & Shaded 'X' zones.

Curtis Harrison, CFM - Floodplain Coordinator & Senior Plans Examiner (805) 560-7512 630 Garden Street, Santa Barbara, Ca. 93102

Cc: ☐ City Floodplain File ☐ City Street File

H:\Group Folders\Building\Flood\17 Floodplain Management\BFEs\2018 BFE\Gutierrez 335 E BFE BLD2018-02222.doc

# Archaeological Conditions

THE FOLLOWING CONDITIONS REFLECT REQUIREMENTS OF THE ARCHAEOLOGICAL LETTER REPORT PREPARED BY WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS, INC. DATED AUGUST 30,2019:

- 1. PRIOR TO THE START OF ANY VEGETATION OR PAVING REMOVAL, DEMOLITION, TRENCHING OR GRADING, CONTRACTORS AND CONSTRUCTION PERSONNEL SHALL BE ALERTED TO THE POSSIBILITY OF UNCOVERING UNANTICIPATED SUBSURFACE ARCHAEOLOGICAL FEATURES OR ARTIFACTS ASSOCIATED WITH PAST HUMAN OCCUPATION OF THE PARCEL. IF SUCH ARCHAEOLOGICAL RESOURCES ARE ENCOUNTERED OR SUSPECTED, WORK SHALL BE HALTED IMMEDIATELY, THE CITY ENVIRONMENTAL ANALYST SHALL BE NOTIFIED AND AN ARCHAEOLOGIST FROM THE MOST CURRENT CITY QUALIFIED ARCHAEOLOGISTS LIST SHALL BE RETAINED BY THE APPLICANT. THE LATTER SHALL BE EMPLOYED TO ASSESS THE NATURE, EXTENT AND SIGNIFICANCE OF ANY DISCOVERIES AND TO DEVELOP APPROPRIATE MANAGEMENT WAYNE AND LYNN ASHCRAFT AUGUST 30, 2019 PAGE 5 RECOMMENDATIONS FOR ARCHAEOLOGICAL RESOURCE TREATMENT WHICH MAY INCLUDE, BUT ARE NOT LIMITED TO, REDIRECTION OF GRADING AND/OR EXCAVATION ACTIVITIES, CONSULTATION AND/OR MONITORING WITH A BARBAREÑO CHUMASH REPRESENTATIVE FROM THE MOST CURRENT CITY QUALIFIED BARBAREÑO CHUMASH SITE MONITORS LIST, ETC.
- 2. IF A DISCOVERY CONSISTS OF POSSIBLE HUMAN REMAINS, THE SANTA BARBARA COUNTY CORONER SHALL BE CONTACTED IMMEDIATELY. IF THE CORONER DETERMINES THAT THE REMAINS ARE NATIVE AMERICAN, THE CORONER SHALL CONTACT THE CALIFORNIA NATIVE AMERICAN HERITAGE COMMISSION. A BARBAREÑO CHUMASH REPRESENTATIVE FROM THE MOST CURRENT CITY QUALIFIED BARBAREÑO CHUMASH SITE MONITORS LIST SHALL BE RETAINED TO MONITOR ALL FURTHER SUBSURFACE DISTURBANCE IN THE AREA OF THE FIND. WORK IN THE AREA MAY ONLY PROCEED AFTER THE ENVIRONMENTAL ANALYST GRANTS AUTHORIZATION.
- 3. IF A DISCOVERY CONSISTS OF POSSIBLE PREHISTORIC OR NATIVE AMERICAN ARTIFACTS OR MATERIALS, A BARBAREÑO CHUMASH REPRESENTATIVE FROM THE MOST CURRENT CITY QUALIFIED BARBAREÑO CHUMASH SITE MONITORS LIST SHALL BE RETAINED TO MONITOR ALL FURTHER SUBSURFACE DISTURBANCE IN THE AREA OF THE FIND. WORK IN THE AREA MAY ONLY PROCEED AFTER THE ENVIRONMENTAL ANALYST GRANTS AUTHORIZATION.

# Code Analysis

OCCUPANCY GROUPS: 302.1

CABLE CODES:	2016 CALIFORNIA ADMINISTRATIVE CODE
	2016 CALIFORNIA BUILDING CODE
	2016 CALIFORNIA ELECTRICAL CODE
	2016 CALIFORNIA MECHANICAL CODE
	2016 CALIFORNIA PLUMBING CODE
	2016 CALIFORNIA ENERGY CODE
	2016 CALIFORNIA GREEN BUILDING COD
	2016 CALIFORNIA FIRE CODE
	CITY OF SANTA BARBARA MUNICIPAL
	CODE CHAPTER 22.04 - CODE
	AMENDMENTS

SPRINKLERS EXISTING?	NO
SPRINKLERS REQUIRED? 903.2	YES
TYPE OF MATERIALS/FIRE RESISTANCE: 602, TABLE 601	V-B
ALLOWABLE BUILDING HEIGHT: 503, 504, TABLE 504.3 S OCCUPANCY: ACTUAL HEIGHT:	60 FT 29'-3"
ALLOWABLE NUMBER OF STORIES: 503, 504, TABLE 504.4 S OCCUPANCY: ACTUAL HEIGHT IN STORIES:	2 1
ALLOWABLE FLOOR AREA: 506, TABLE 506.2 ALLOWABLE AREA: S-1 OCCUPANCY SINGLE STORY NOT SPRINKLED: ACTUAL FLOOR AREA:	9,000 SF 2,958 SF
INCIDENTAL USE AREAS: 509	NONE

**BUILDING LOCATION:** REQUIRED FIRE RATING OF EXTERIOR WALLS: TABLE 602 S-1 OCCUPANCY: V-B: 2 HR < 5', 1 HR 5' - <10', 0 HR 10' - <30'

EXTERIOR OPENING PROTECTION: TABLE 705.8 UNPROTECTED, SPRINKLERED UNPROTECTED OPENINGS: 0% < 3', 15% 3 '- <5', 25% 5' - <10', 45% 10 - <15', 75% 15 -• 100% UNPROTECTED OPENINGS SINCE EXTERIOR WALLS > 20' FROM PROPERTY LINE

•PER 705.3 EXCEPTION 1 AREA BETWEEN BUILDINGS A AND C NOT REQUIRED TO HAVE AN IMAGINARY LOT LINE BETWEEN THEM. COMBINED BUILDING SF IS 3,893 SF AND ALLOWABLE AREA IS 9,000 SF.

FIRE-RATED CONSTRUCTION ELEMENTS: TABLE 601	V-
STRUCTURAL FRAME: 714	0
EXTERIOR BEARING WALLS: 704	0
INTERIOR BEARING WALLS:	0
EXTERIOR NON-BEARING WALLS:	0
INTERIOR NON-BEARING WALLS:	0
FLOOR CONSTRUCTION:	0
ROOF CONSTRUCTION:	0

OCCUPANT LOAD: 1004, TABLE 1004.1, SEE CODE PLAN FOR EXITING DISTRIBUTION LOAD TWO EXITS? 1006.3.1 USE SF/OCC AREA WAREHOUSE 2,790

MEANS OF EGRESS: COMMON PATH OF TRAVEL: TABLE 1006.2.1, BUILDING IS SPRINKLED

(DISTANCE MEASURED TO POINT WHERE OCCUPANT HAS ACCESS TO TWO EXITS) TRAVEL DISTANCE: TABLE 1017.2, BUILDING IS SPRINKLED S-1: (NEW - SPRINKLED) 250 FT MAX TRAVEL DISTANCES OK

ACCESSIBLE EGRESS REQUIRED? 1009 FLOOD ZONE: TOILET FACILITIES REQUIREMENTS: TABLE 422.1 CPC

OCCUPANT LOAD: SF/OCC AREA GROUP S WAREHOUSE 5000 2,790 NOTE: SINGLE TOILET FACILITY PER 422.2 EXCEPTION 2 MAXIMUM TRAVEL DISTANCE 500 FT PER 422.4

TOILET FACILITIES REQUIRED: CPC TABLE 422.1 S-1 OCCUPANCY TOILETS URINALS LAVATORIES DF SERVICE SINK

TOILET FACILITIES PROVIDED: TOILETS URINALS LAVATORIES DF SERVICE SINK

# City of Santa Barbara Waste Generation Calculator Updated 7/27/2016

Business Type	Rusin	ess Size	Food	Green	Recycle	Trash
Busiliess Type	Busin	ess size	(yd3/week)	(yd3/week)	(yd3/week)	(yd3/week)
Wholesalers/distributors	3983	gross ft2	0.00	0.00	1.39	1.3
Q. 0.B.	pnose contain	er sizes and qu	uantities appropriate	for the total generation	on of each material	
Sten 2: Pro	pood domain	or orzoo arra qu	dantitioo appropriato	Tor the total general		
Step 2: Pro			Food	Green	Recycle	Trash

# Project Statistics & Data

**ARCHITECT** 

PROJECT ADDRESS:	335 E. GUTIERREZ STREET
PROPERTY OWNERS:	ASHCRAFT FAMILY TRUST WAYNE & LYNN ASHCRAFT 312 E. CANON PERDIDO STREET SANTA BARBARA, CA 93101 805.453.1501

EAST BEACH VENTURES P.O. BOX 2220 SANTA BARBARA, CA 93120 805.637.0601

A.P.N.: 031-282-009 LAND USE ZONE: M-I: MANUFACTURING INDUSTRIAL SETBACKS: FRONT YARD INTERIOR YARD NONE 10 FT **GUTIERREZ STREET** MAXIMUM HEIGHT ALLOWED

INDUSTRIAL: INDOOR WAREHOUSING AND STORAGE GENERAL PLAN NEIGHBORHOOD: EASTSIDE: LOWER EAST **GROSS LOT SIZE:** 13,400 SF

**AVERAGE SLOPE**: 1% FLOOR AREA: EXISTING BUILDINGS TO BE DEMOLISHED: BUILDING A: (UNDER SEPARATE PERMIT BLD2019-00272) 1,914 SF 2,093 SF 1,181 SF TOTAL GMP FLOOR AREA CREDIT: EXISTING BUILDINGS TO REMAIN

BUILDING C: TOTAL EXISTING: 1,125 SF MAXIMUM TOTAL ADDITION: 7,171 SF MAXIMUM ALLOWABLE SF: TOTAL PROPOSED NEW SF: TOTAL PROPOSED SF: 3,915 SF 4,203 SF

FLOOD ZONE: **FLOODWAY?** NO BASE FLOOD ELEVATION (BFE) NAVD 1988 12.5 FEET DESIGN FLOOD ELEVATION (DFE) 13.5 FEET

HIGH FIRE: GRADING: QUANTITIES TO BE DETERMINED

SWMP COMPLIANCE: PRE-CONSTRUCTION IMPERVIOUS AREA: 12,678 SF POST-CONSTRUCTION IMPERVIOUS AREA: 10,901 SF SEE SHEET C-1 FOR ADDITIONAL INFORMATION

SITE COVERAGE EXISTING: STRUCTURES: 4,747 SF 35% 8,062 SF 60% PAVING: **LANDSCAPING** TOTALS: 100% 13,400 SF SITE COVERAGE PROPOSED: 4,203 SF STRUCTURES: 31% PAVING: 8,556 SF 64%

PARKING EXISTING:

**LANDSCAPING** 

PROPOSED:

1,914 SF @ 1:250 (RETAIL) 8 SPACES INDOOR WAREHOUSING AND STORAGE: **REQUIRED:** 1 SPACE / 1000 SF PLUS 1 SPACE/250 SF FOR ANY OFFICE SPACE: 3,915 @ 1/1000 = 3 SPACES

13,400 SF

BICYCLES: REQUIRED:1 SPACE PER 1,750 SF 75% LONG TERM, 25% SHORT TERM 3,915/1,750 = 2PROVIDED: 2 LONG TERM LOCATED INSIDE THE BUILDING

3 SPACES

NOTES: • 30.175.090D: GATES ALLOWED TO BE CLOSER THAN 20 FT FROM THE FRONT LOT LINE IF THE GATES REMAIN OPEN DURING BUSINESS HOURS

• 30.140.090.C.1: PROJECTIONS CAN ENCROACH INTO SETBACK 3 FT MAX • PER PARKING STANDARDS DRIVEWAY 12 FT MIN WIDE SINCE LESS THAN 25 PARKING

Scope of Work

DEMOLITION OF AN EXISTING 1,914 SF RETAIL BUILDING DAMAGED AS DESCRIBED IN BUILDING DEPARTMENT ENFORCEMENT CASE ENF2017-1280 UNDER SEPARATE PERMIT. DEMOLISH EXISTING 1,132 SQUARE FOOT STORAGE BUILDING. EXISTING 1,125 SF STORAGE BUILDING TO REMAIN. NEW 2,790 SF WAREHOUSE BUILDING. 3 PARKING SPACES. GRADING QUANTITIES TO BE DETERMINED. TIER 3 SWMP COMPLIANCE.

## Sheet Index

A0.0 TITLE SHEET

A1.2 SITE PLAN

L-2 PHOTOGRAPHS OF PROPOSED PLANTS

A0.1 SITE PHOTOS A1.1 SITE DEMOLITION PLAN

A2.1 FLOOR PLAN A3.1 ELEVATIONS

PETER J. EHLEN

TIER 3

100%

C-1 PRELIMINARY GRADING AND DRAINAGE PLAN

PLANTING PLAN

PROJECT

LOCATION

PETER J. EHLEN ---- ARCHITECT ----

**VENTURES** 

P.O. Box 2220 SANTA BARBARA, CA 93120

P: [8 0 5] 6 3 7 - 0 6 0 1

Family Trust

Project No: 18.13

06.10.19 ABR Submittal

09.23.19 ABR Re-submittal

Drawing Date:

23 September 2019

Title Sheet





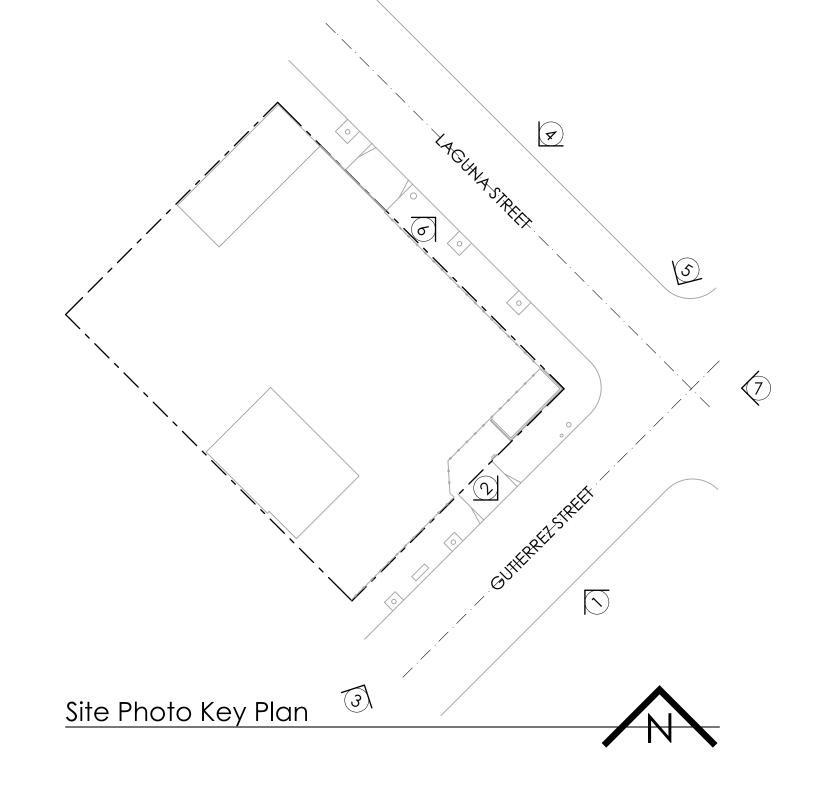




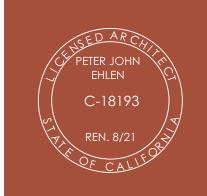












PETER J. EHLEN
—— ARCHITECT ——

P.O. Box 2220
SANTA BARBARA, CA 93120
PETE@EASTBEACHVENTURES.COM
P: [8 0 5] 6 3 7 - 0 6 0 1

Ashcraft Family Trus

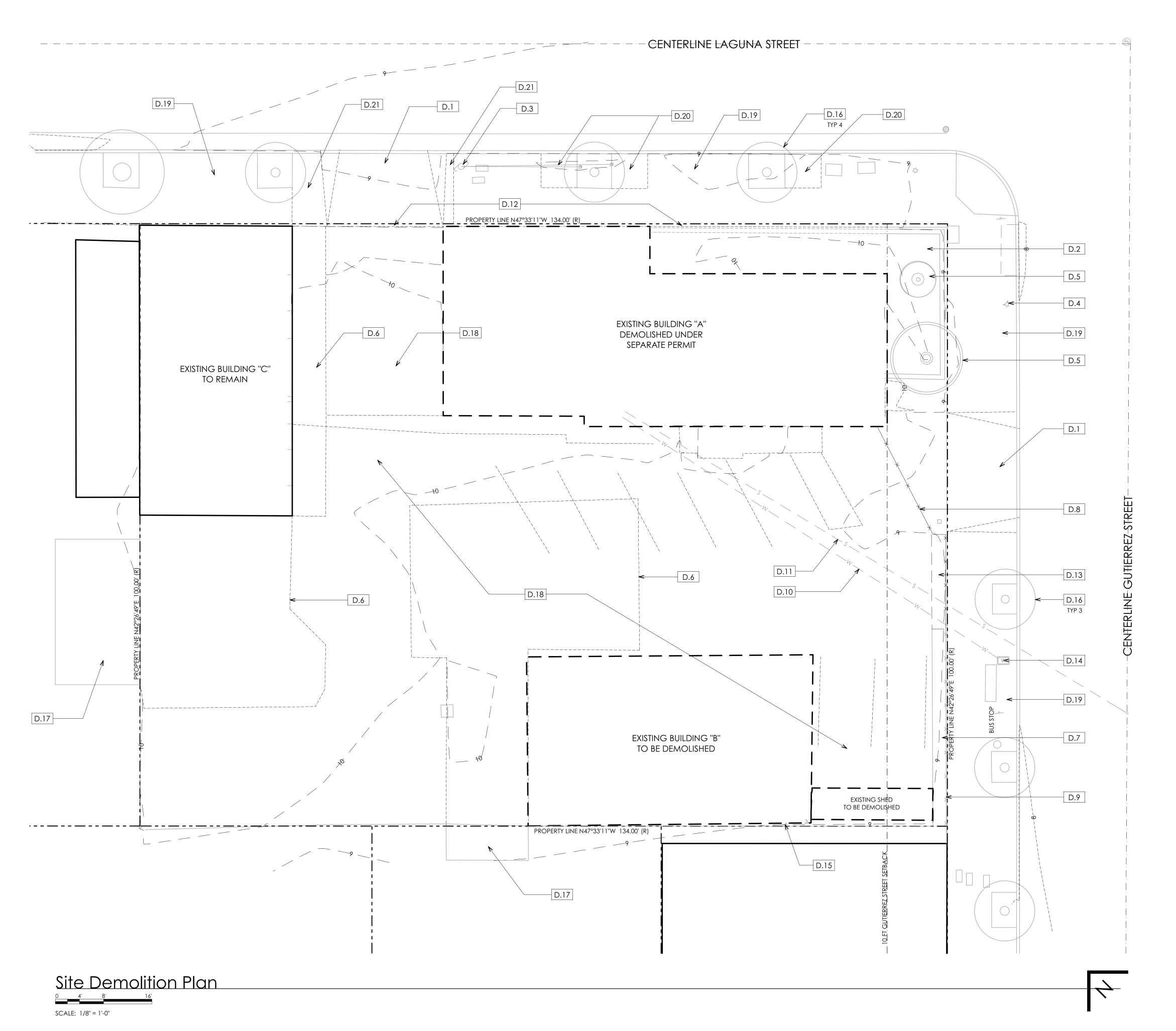
oject No: 18.13

Dates Issued: 06.10.19 ABR Submittal

Drawing Date:

Site Photos

A0.1



# <u>Demolition Notes</u>

- D.1 (E) DRIVEWAY APRON TO BE REMOVED
- D.2 (E) RAISED PLANTER TO REMAIN
- D.3 (E) POWER POLE
- D.4 (E) FIRE HYDRANT
- D.5 (E) PALM TREE TO REMAIND.6 (E) CONCRETE PAD TO BE REMOVED
- D.7 (E) PLANTER TO REMAIN
- D.8 (E) CHAIN LINK FENCE AND GATE TO BE REMOVED
- D.9 (E) CHAIN LINK FENCE TO REMAIN
- D.10 (E) WATER SERVICE TO REMAIN
- D.11 (E) SEWER SERVICE TO BE ABANDONED
   D.12 REMOVE PORTION OF (E) SIDEWALK ON PRIVATE PROPERTY TO ALLOW CONSTRUCTION OF BUILDING UP TO THE PROPERTY LINE
- D.13 (E) PLANTER TO BE REMOVED
- D.14 (E) WATER METER
- D.15 (E) GAS SERVICE
- D.16 (E) STREET TREE AND PLANTERD.17 (E) DRIVEWAY RAMP TO ADJACENT PARCEL
- D.18 (E) AC PAVING TO BE REMOVED
- D.19 (E) CONCRETE SIDEWALK TO REMAIN
- D.20 (E) UPLIFTED CONCRETE SIDEWALK TO BE REMOVED
- D.21 (E) CONCRETE SIDEWALK TO BE REMOVED







P.O. Box 2220
SANTA BARBARA, CA 93120
PETE@EASTBEACHVENTURES.COM

---- ARCHITECT -----

P: [8 0 5] 6 3 7 - 0 6 0 1

Ashcraft Family Tr 335 E. Gutierrez Street

Project No: 18.13

Dates Issued:
06.10.19 ABR Submittal
09.23.19 ABR Re-submittal

Drawing Date:

Site Demolition Plan

A1.1

SCALE: 1/8" = 1'-0"

# Keyed Notes

## SITEWORK

- 1.1 EXISTING FIRE HYDRANT
- 1.2 EXISTING RAISED PLANTER
- 1.3 EXISTING PALM TREE 1.4 EXISTING POWER POLE
- 1.5 NEW AC PAVING PER CIVIL PLAN 1.6 EXISTING DRIVEWAY RAMP TO ADJACENT PARCEL
  - EXISTING PLANTER
- 1.8 NEW PLANTER

- 1.8 NEW PLANTER
  1.9 EXISTING CHAIN LINK FENCE
  1.10 NEW CHAIN LINK FENCE TO MATCH EXISTING
  1.11 TRUNCATED DOMES
  1.12 TRASH ENCLOSURE: (3) 95 GALLON TRASH, (3) 95 GALLON RECYCLE
  1.13 PERMEABLE PAVING PER CIVIL PLAN
- 1.14 FENCE AND GATE, 8 FEET HIGH
- 1.15 SIDEWALK PER CITY STANDARDS
- 1.16 DRIVEWAY PER CITY STANDARDS
- 1.17 CONCRETE WALK
- 1.18 CURB PER CITY STANDARDS 1.19 NEW STREET TREE PER LANDSCAPE PLAN
- 1.20 FIRE SPRINKLER BACKFLOW PREVENTER + FIRE DEPT CONNECTION
  1.21 GREEN SCREEN PER LANDSCAPE PLANS
  1.22 NEW TREE PER LANDSCAPE PLANS

## MASONRY

- 4.1 CONCRETE BLOCK FLOODPROOFING WALL 4.2 FLOODPROOFING OPENING OMIT (2) BLOCKS

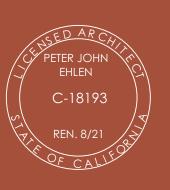
### DOORS & WINDOWS

8.1 HOLLOW METAL DOOR AND FRAME – PAINT 8.2 ALUMINUM STOREFRONT SYSTEM – MILL FINISH

- 9.1 EXTERIOR PLASTER WITH SMOOTH TROWEL FINISH PAINT
- 9.2 OVERHANG WITH PLASTER FINISH







PETER J. EHLEN ---- ARCHITECT -----

P.O. Box 2220 SANTA BARBARA, CA 93120 PETE@EASTBEACHVENTURES.COM

P: [8 0 5] 6 3 7 - 0 6 0 1

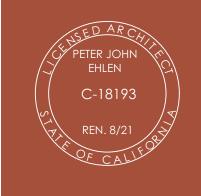
Project No: 18.13

06.10.19 ABR Submittal

09.23.19 ABR Re-submittal

Site Plan

EAST BEACH VENTURES ARCHITECTURE



PETER J. EHLEN ---- ARCHITECT -----

P.O. Box 2220 SANTA BARBARA, CA 93120

P: [8 0 5] 6 3 7 - 0 6 0 1

Project No: 18.13

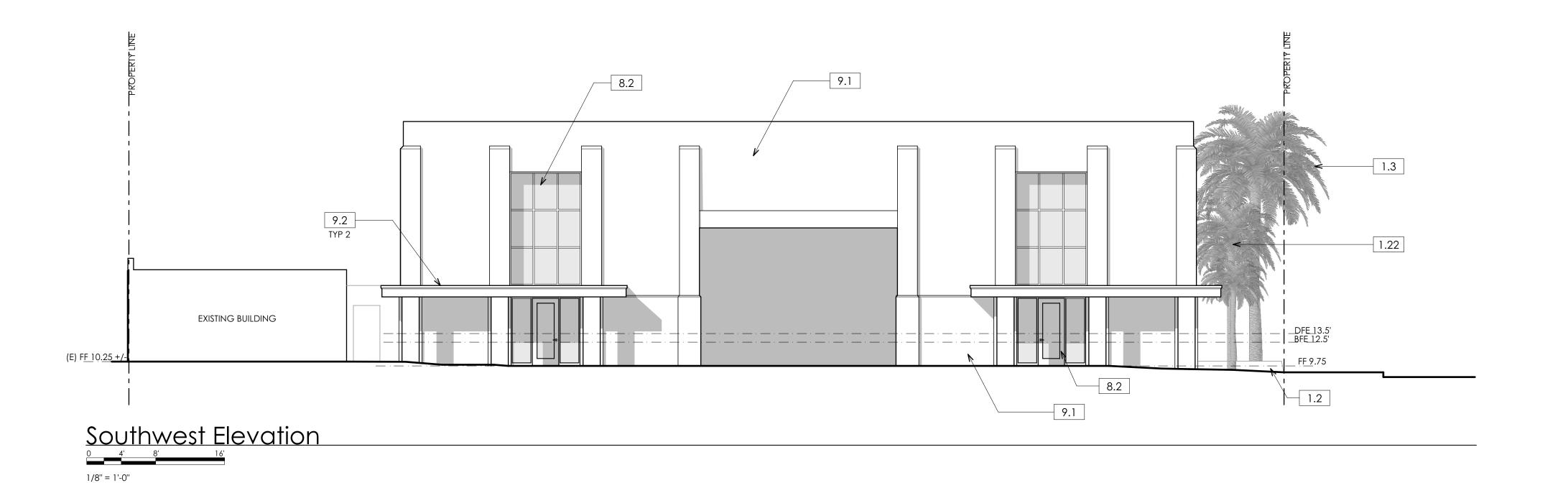
06.10.19 ABR Submittal 09.23.19 ABR Re-submittal

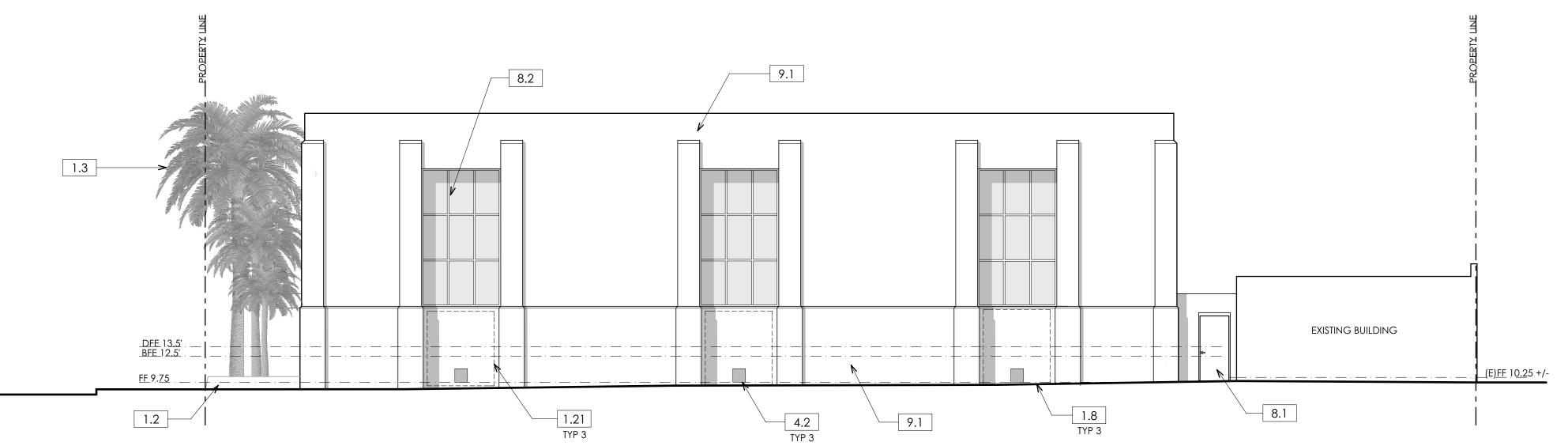
Drawing Date: 23 September 2019

Floor Plan

FINISHES

9.1 EXTERIOR PLASTER WITH SMOOTH TROWEL FINISH - PAINT
9.2 OVERHANG WITH PLASTER FINISH

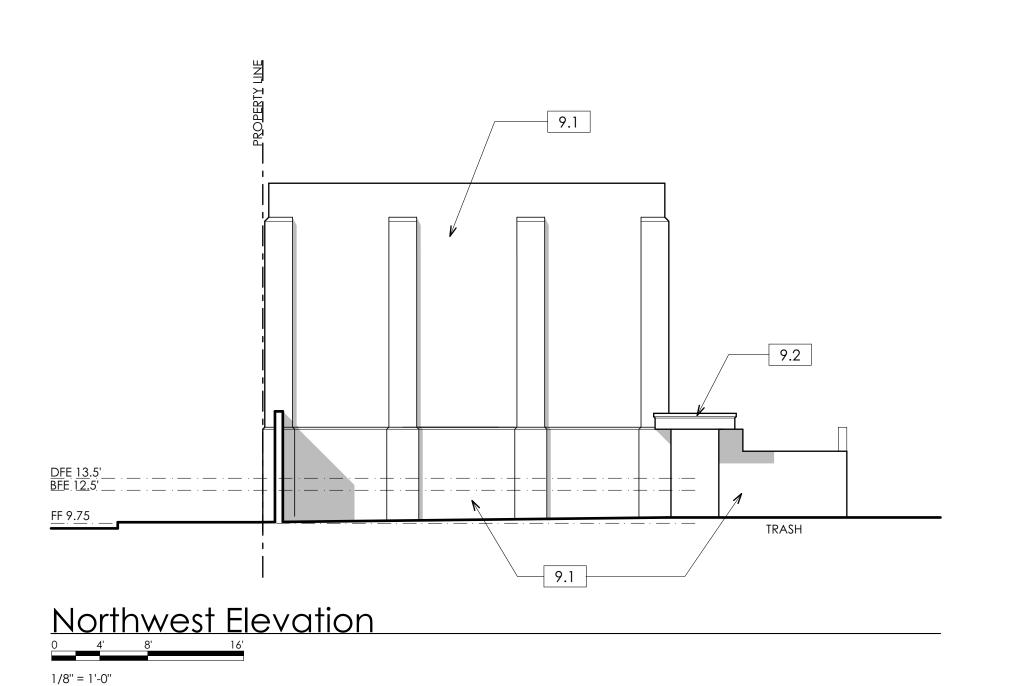


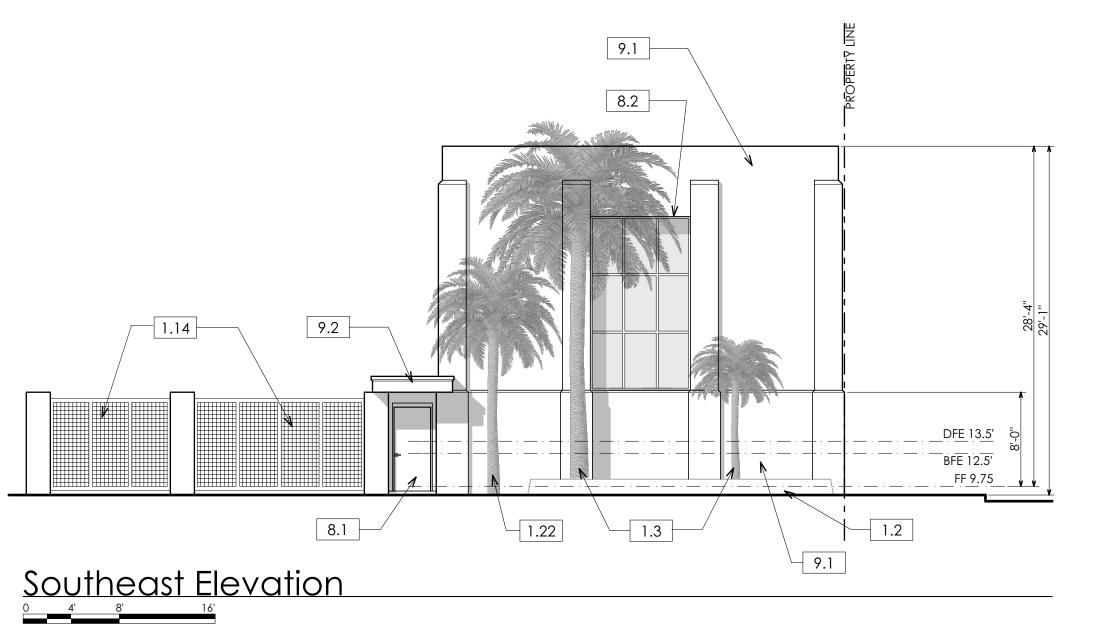


1/8" = 1'-0"

Northeast Elevation

1/8" = 1'-0"





# Keyed Notes

- SITEWORK

  1.1 EXISTING FIRE HYDRANT
- 1.2 EXISTING RAISED PLANTER 1.3 EXISTING PALM TREE
- 1.4 EXISTING POWER POLE
- 1.5 NEW AC PAVING PER CIVIL PLAN1.6 EXISTING DRIVEWAY RAMP TO ADJACENT PARCEL
  - EXISTING PLANTER
- NEW PLANTER
- 1.9 EXISTING CHAIN LINK FENCE
  1.10 NEW CHAIN LINK FENCE TO MATCH EXISTING
  1.11 TRUNCATED DOMES
- 1.12 TRASH ENCLOSURE: (3) 95 GALLON TRASH, (3) 95 GALLON RECYCLE
  1.13 PERMEABLE PAVING PER CIVIL PLAN
- 1.14 FENCE AND GATE, 8 FEET HIGH 1.15 SIDEWALK PER CITY STANDARDS
- 1.16 DRIVEWAY PER CITY STANDARDS
- 1.17 CONCRETE WALK
- 1.18 CURB PER CITY STANDARDS 1.19 NEW STREET TREE PER LANDSCAPE PLAN
- 1.20 FIRE SPRINKLER BACKFLOW PREVENTER + FIRE DEPT CONNECTION
  1.21 GREEN SCREEN PER LANDSCAPE PLANS
  1.22 NEW TREE PER LANDSCAPE PLANS

### MASONRY

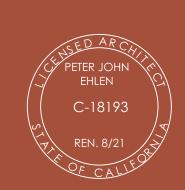
4.1 CONCRETE BLOCK FLOODPROOFING WALL
4.2 FLOODPROOFING OPENING – OMIT (2) BLOCKS

## DOORS & WINDOWS

8.1 HOLLOW METAL DOOR AND FRAME – PAINT 8.2 ALUMINUM STOREFRONT SYSTEM – MILL FINISH

- 9.1 EXTERIOR PLASTER WITH SMOOTH TROWEL FINISH PAINT
- 9.2 OVERHANG WITH PLASTER FINISH

EAST BEACH VENTURES ARCHITECTURE



PETER J. EHLEN ---- ARCHITECT -----

P.O. Box 2220 SANTA BARBARA, CA 93120

PETE@EASTBEACHVENTURES.COM P: [8 0 5] 6 3 7 - 0 6 0 1

Project No: 18.13

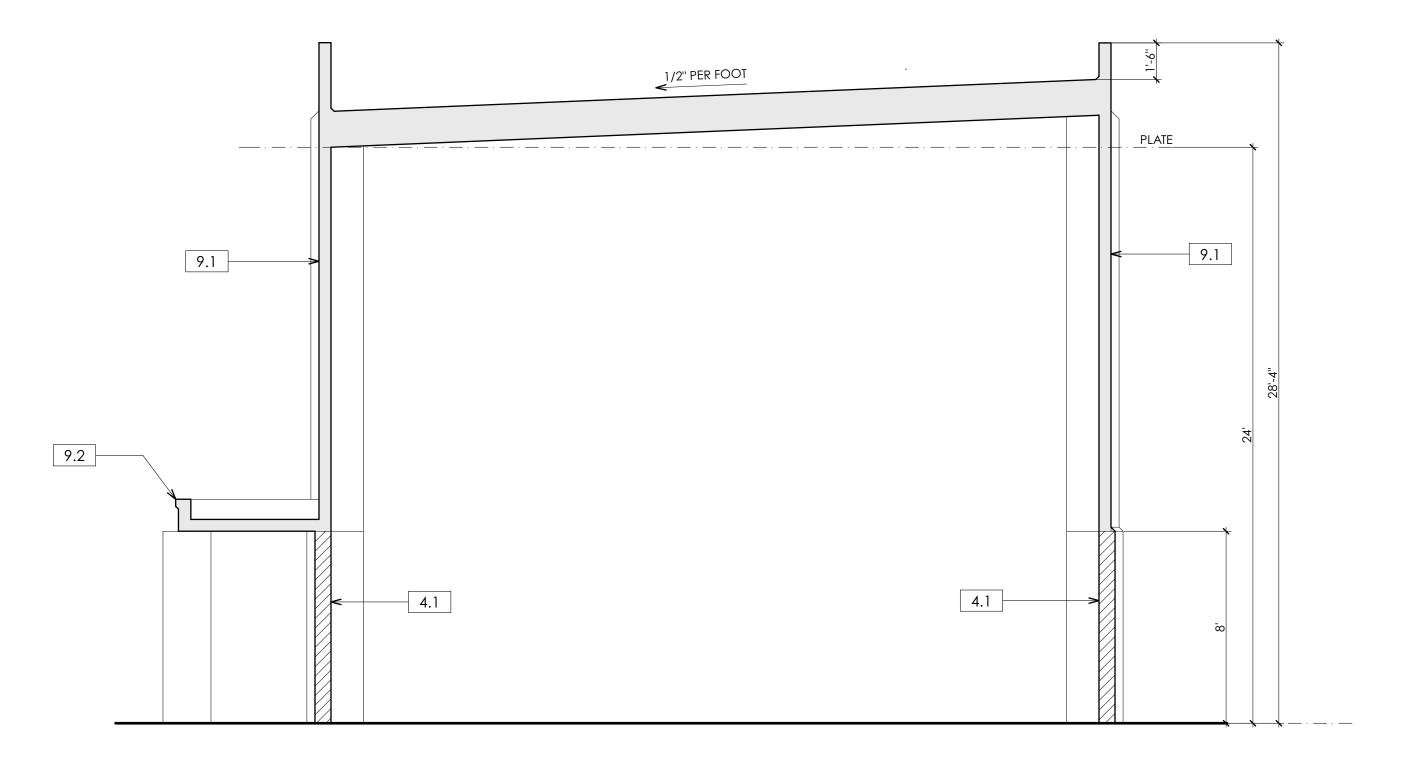
06.10.19 ABR Submittal

09.23.19 ABR Re-submittal

Drawing Date: 23 September 2019

Elevations

A3.1



# 1/4" = 1'-0"

# Keyed Notes

- SITEWORK

  1.1 EXISTING FIRE HYDRANT

  1.2 EXISTING RAISED PLANTER

  1.3 EXISTING PALM TREE
- 1.4 EXISTING POWER POLE
- 1.5 NEW AC PAVING PER CIVIL PLAN
  1.6 EXISTING DRIVEWAY RAMP TO ADJACENT PARCEL

- 1.6 EXISTING DRIVEWAY RAMP TO ADJACENT PARCE
  1.7 EXISTING PLANTER
  1.8 NEW PLANTER
  1.9 EXISTING CHAIN LINK FENCE
  1.10 NEW CHAIN LINK FENCE TO MATCH EXISTING
  1.11 TRUNCATED DOMES
- 1.12 TRASH ENCLOSURE: (3) 95 GALLON TRASH, (3) 95 GALLON RECYCLE
  1.13 PERMEABLE PAVING PER CIVIL PLAN
- 1.14 FENCE AND GATE, 8 FEET HIGH
- 1.15 SIDEWALK PER CITY STANDARDS
- 1.16 DRIVEWAY PER CITY STANDARDS
- 1.17 CONCRETE WALK
- 1.18 CURB PER CITY STANDARDS
- 1.19 NEW STREET TREE PER LANDSCAPE PLAN
- 1.20 FIRE SPRINKLER BACKFLOW PREVENTER + FIRE DEPT CONNECTION
  1.21 GREEN SCREEN PER LANDSCAPE PLANS
  1.22 NEW TREE PER LANDSCAPE PLANS

## MASONRY

- 4.1 CONCRETE BLOCK FLOODPROOFING WALL
  4.2 FLOODPROOFING OPENING OMIT (2) BLOCKS

## DOORS & WINDOWS

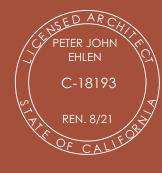
8.1 HOLLOW METAL DOOR AND FRAME – PAINT 8.2 ALUMINUM STOREFRONT SYSTEM – MILL FINISH

9.1 EXTERIOR PLASTER WITH SMOOTH TROWEL FINISH - PAINT

9.2 OVERHANG WITH PLASTER FINISH

EAST BEACH VENTURES ARCHITECTURE





PETER J. EHLEN ----- ARCHITECT -----

P.O. Box 2220 SANTA BARBARA, CA 93120 PETE@EASTBEACHVENTURES.COM

P: [8 0 5] 6 3 7 - 0 6 0 1

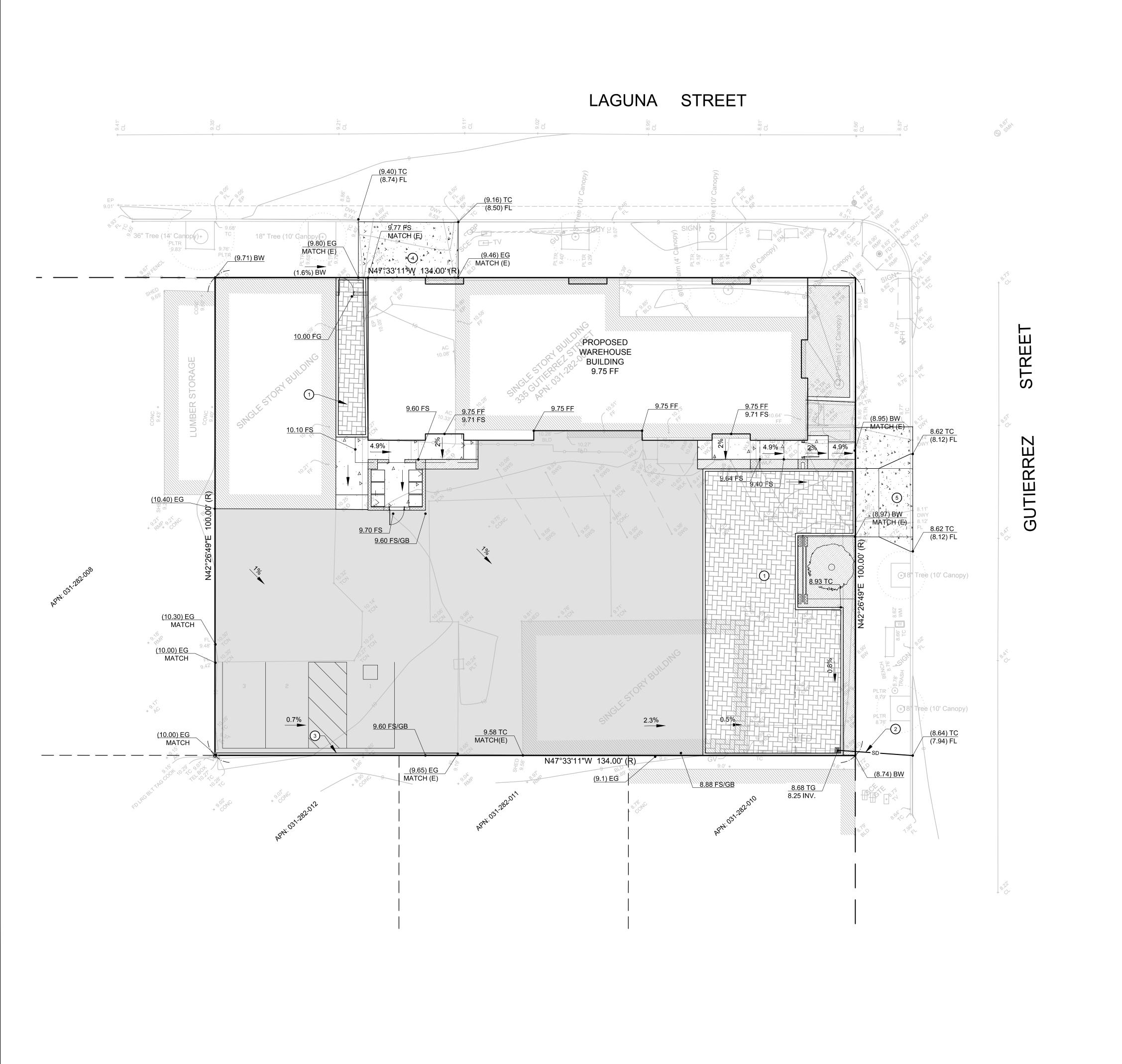
arehouse Building for: raft Family Trust

Project No: 18.13

06.10.19 ABR Submittal 09.23.19 ABR Re-submittal

Drawing Date: 23 September 2019

Section



# **CONSTRUCTION NOTES**

(1) PROPOSED PERMEABLE PAVERS

2 PROPOSED TYPE A CITY STANDARD CURB OUTLET DRAIN.

3 PROPOSED 6" CURB

4 REMOVE AND REPLACE EXISTING DRIVEWAY WITH NEW CITY STANDARD CURB GUTTER AND SIDEWALK

5 REMOVE AND REPLACE EXISTING DRIVEWAY WITH NEW CITY STANDARD CURB GUTTER, SIDEWALK, AND DRIVEWAY.

# STORMWATER MANAGEMENT AREAS

TOTAL PROJECT AREA	13,400 SF
PRE-PROJECT IMPERVIOUS AREA	12,678 SF
PROPOSED NEW IMPERVIOUS AREA	0 SF
REPLACED IMPERVIOUS AREA	9,660 SF
REMOVED IMPERVIOUS AREA	1,711 SF
POST PROJECT IMPERVIOUS AREA	10,967 SF

# STORMWATER MANAGEMENT TREATMENT CAPACITIES

ВМР	TRIBUTARY DRAINAGE	TREATMENT VOLUME	PROVIDED TREATMENT VOLUME
	AREA	(CU. FT.)	(CU. FT.)
PERMEABLE PAVERS	10,967 SF	914 CF	932 CF

# PROVIDED TREATMENT VOLUME CALCULATION

PROVIDED	
PERMEABLE PAVER AREA	1,554 SF
DEPTH OF DRAIN ROCK	1.5 FT
TREATMENT VOLUME	932 CF

\* 40% VOIDS IN ROCK

# **POST-CONSTRUCTION STORMWATER** MANAGEMENT STATEMENT

TIER REQUIREMENT : 3 NOTE: PEAK RUNOFF DISCHARGE RATE AND VOLUME REDUCTION REQUIREMENTS DO NOT APPLY DU TO REDUCTION IN IMPERVIOUS SURFACES.

# **ABBREVIATIONS**

AC - ASPHALT CONCRETE BVC - BEGIN VERTICAL CURVE BW - BACK OF WALL (GRADE AT BW) CL - CENTERLINE COTG- CLEANOUT TOP OF GRATE

DIP - DUCTILE IRON PIPE EVC - END VERTICAL CURVE EP - EDGE OF PAVEMENT ESMT - EASEMENT (E) EXISTING

**EXIST - EXISTING** FG - FINISHED GRADE ELEVATION FH - FIRE HYDRANT

FL - FLOW LINE FF - FINISHED FLOOR ELEVATION FS - FINISHED SURFACE ELEVATION

FW - FRONT OF WALL GB - GRADE BREAK GP - GRADING PLAN HDPE - HIGH DENSITY POLYETHYLENE

HP - HIGH POINT INV - PIPE/DRAIN INVERT ELEVATION

LF - LINEAR FEET LP - LOW POINT Lt - LEFT

MH - MANHOLE MJ - MECHANICAL JOINT PL - PROPERTY LINE

POC - POINT OF CONNECTION

PVC - POLYVINYL CHLORIDE R - RADIUS RCP - REINFORCED CONCRETE PIPE

R/W - RIGHT OF WAY RW - RETAINING WALL Rt - RIGHT SS - SANITARY SEWER

SD - STORM DRAIN STE - STATION TF - TOP OF FOOTING ELEVATION

TG - TOP OF GRATE TW - TOP OF WALL ELEVATION

WL - WATER LINE WM - WATER METER

WV - WATER VALVE (XX.XX) = EXISTING ELEVATION

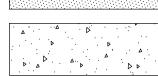
# **LEGEND**

PROPOSED ASPHALT PAVING PROPOSED PERMEABLE PAVERS

SCALE:1"= 10'

PROPOSED LANDSCAPING

PROPOSED CONCRETE PAVING



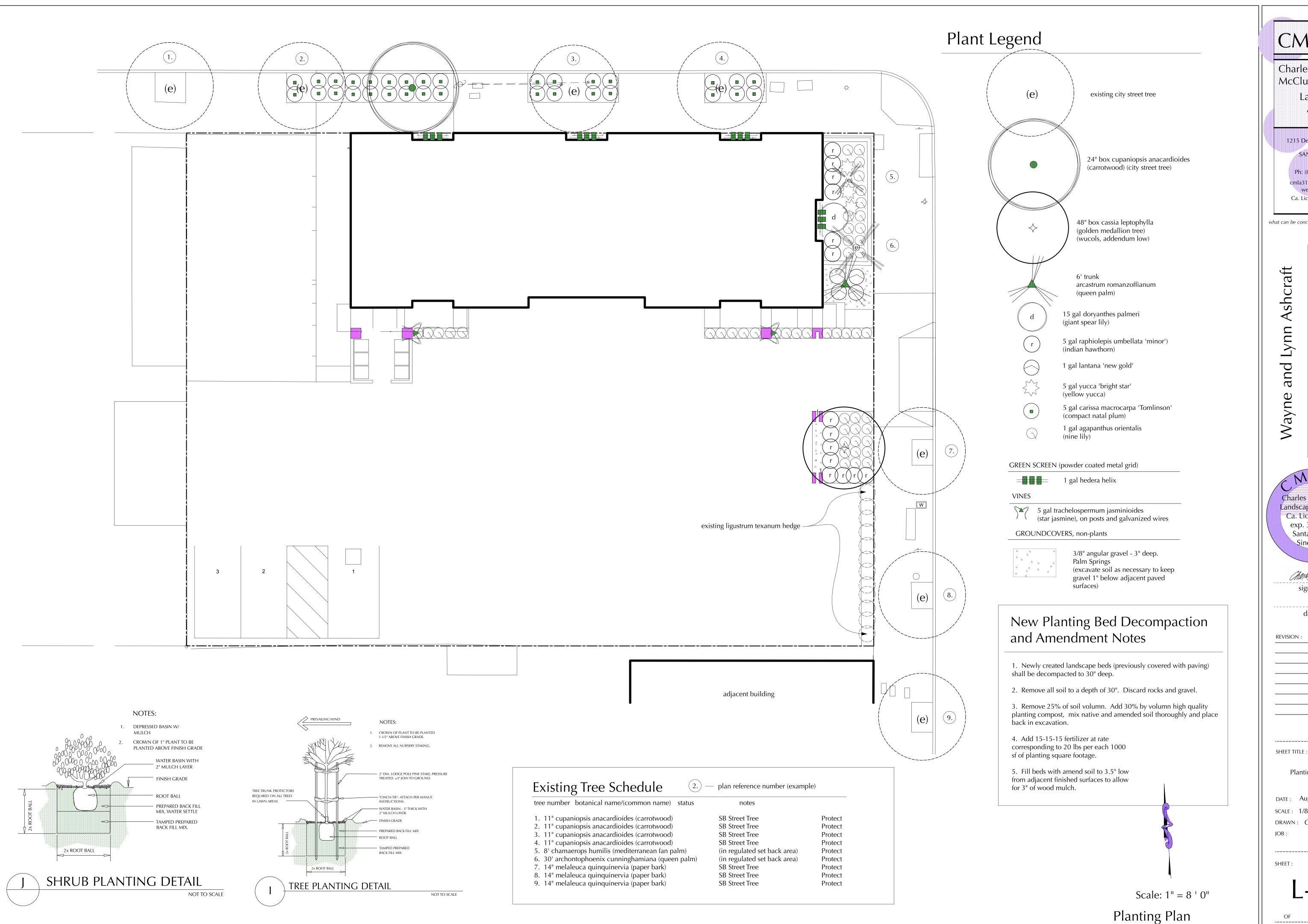
No. Date Issuance or Revisions 19075 MA 8/22/2019 MA AS SHOWN

PRELIMINARY **GRADING AND** DRAINAGE PLAN Drawing Title

PRAXIS CONSOLIDATED INTERNATIONAL, INC. PRAXIS) SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, NCLUDING THE COPYRIGHT TO THESE PLANS THESE PLANS MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT OF PRAXIS. IN HE EVENT OF UNAUTHORIZED USE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD PRAXIS HARMLESS.

REHOUSE BUILDING

E. GUTIERREZ STREET
SANTA BARBARA, CA



CM+LA

Charles McClure

> Landscape Architect

1215 De La Vina Street SANTA BARBARA CA, 93101 Ph: (805) 729 1179 cmla3114@gmail.com web: cmlasb.com Ca. License No. 3114

what can be conceived can be created

Ashcraft

and

Street 93101 Gutierrez Wayne  $\Delta$ 335 Es

M Charles P. McClure Landscape Architect Ca. Lic. No. 3114 exp. 3-31-2021 Santa Barbara Since 1988

Mark Down
Man Miller
signature

date

**REVISION:** 

Planting Plan

DATE: August, 2019 SCALE: 1/8'' = 1'-0''DRAWN: C.M. JOB:

SHEET:

L-

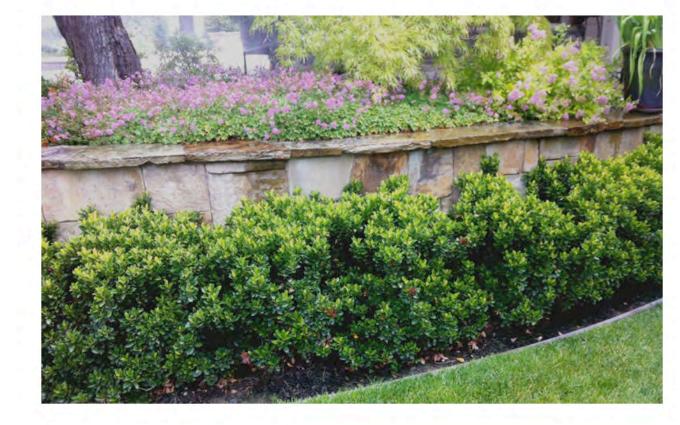
SHEETS









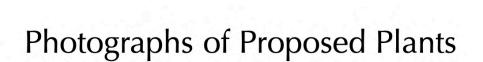


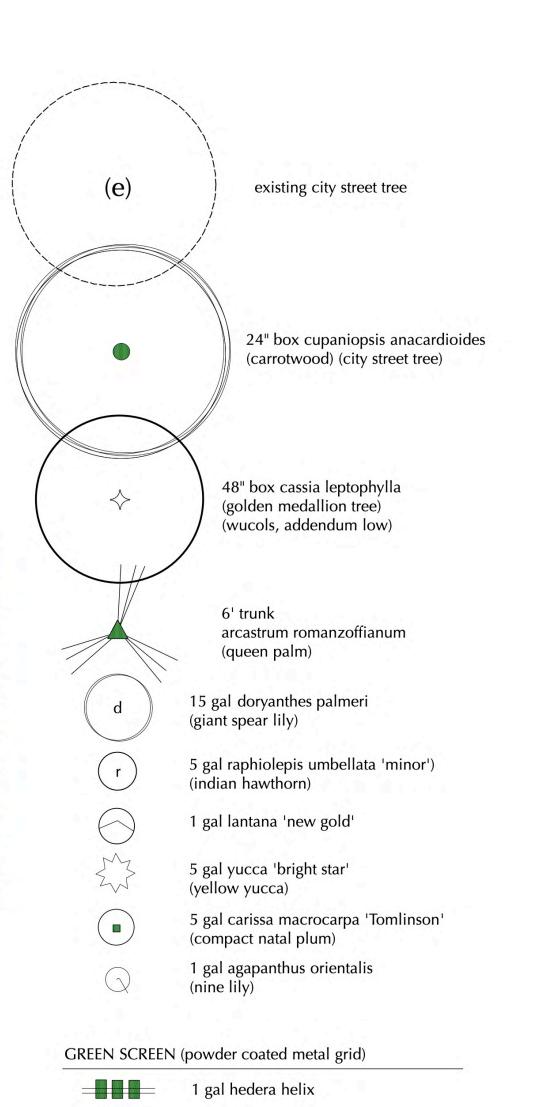












5 gal trachelospermum jasminioides (star jasmine), on posts and galvanized wires

3/8" angular gravel - 3" deep.
Palm Springs
(excavate soil as necessary to keep gravel 1" below adjacent paved surfaces)

GROUNDCOVERS, non-plants

	Charles P. McClure
	Landscape Architect
	Ca. Lic. No. 3114
	exp. 3-31-2021
	Santa Barbara
	Since 1988
	Chanks from
	Mara Mille
	signature
- 1	data

CM+LA

Landscape

Architect

1215 De La Vina Street

SANTA BARBARA CA, 93101

Ph: (805) 729 1179

cmla3114@gmail.com web: cmlasb.com

Ca. License No. 3114

what can be conceived can be created

**Ashcraft** 

and

Wayne

since 1989

Street 93101

Charles

McClure

ua

REVISION:

SHEET TITLE :

Photographs of Proposed Plants

DATE: August, 2019

SCALE: 1/8" = 1'-0"

DRAWN: C.M.

SHEET :

L-2

of 2 sheets